

**Date : 12/22/2020 12:36:00 PM**

**From : "Bradley Furuya"**

**To : "Crime Prevention Through Environmental Design"**

**Subject : Sunset + Wilcox Project RFI**

**Attachment : NOP Project Location.pdf;NOP Conceptual Site Plan.pdf;Sunset + Wilcox - LAPD Letter.pdf;**

Dear Officer Velasco,

Please find attached a Request for Information letter for the Sunset + Wilcox Project. Please let me know if you have any questions.



LOS ANGELES  
CITY PLANNING

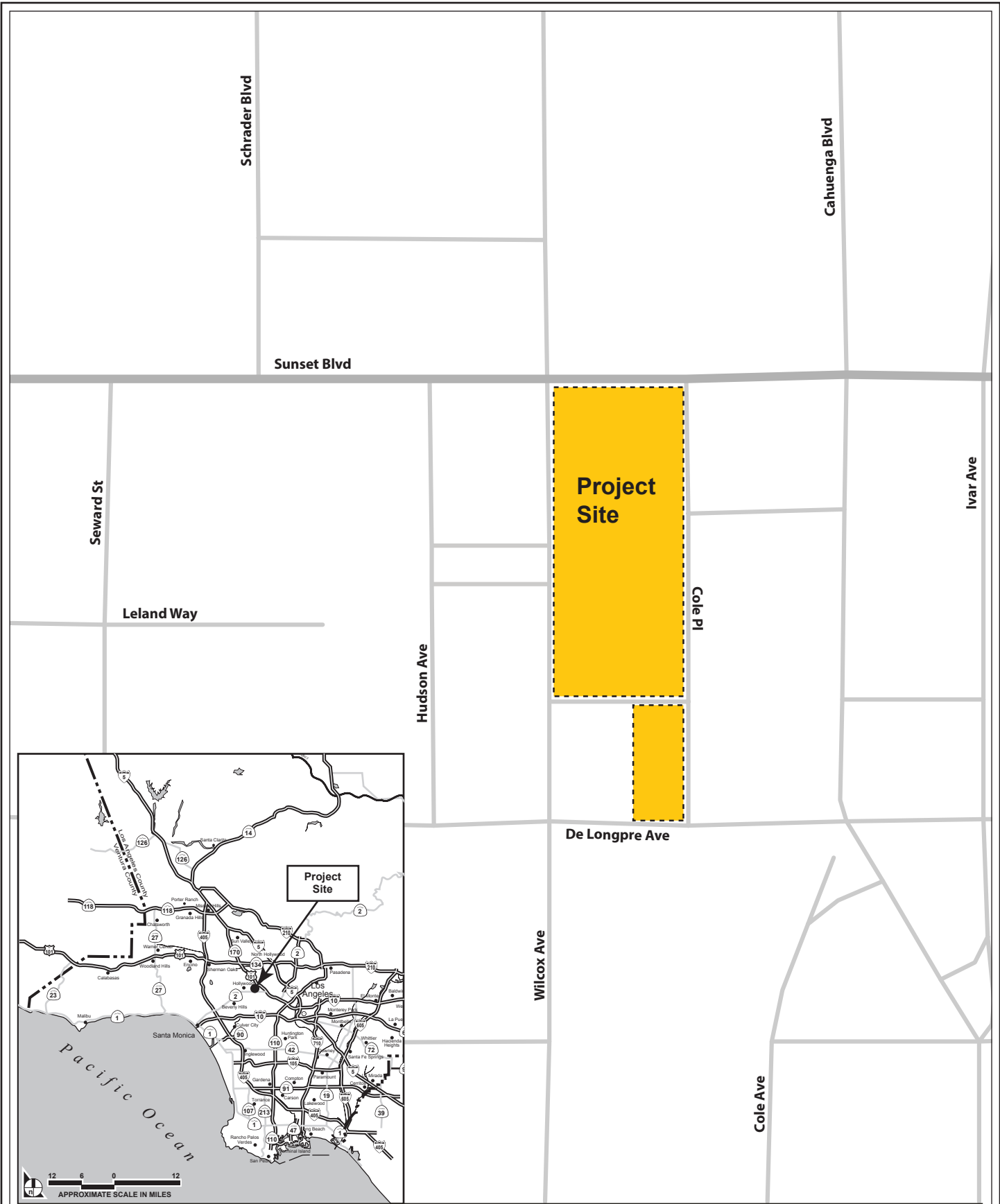
**Bradley Furuya, AICP**  
City Planning Associate  
**Los Angeles City Planning**

221 N. Figueroa St., Suite 1350

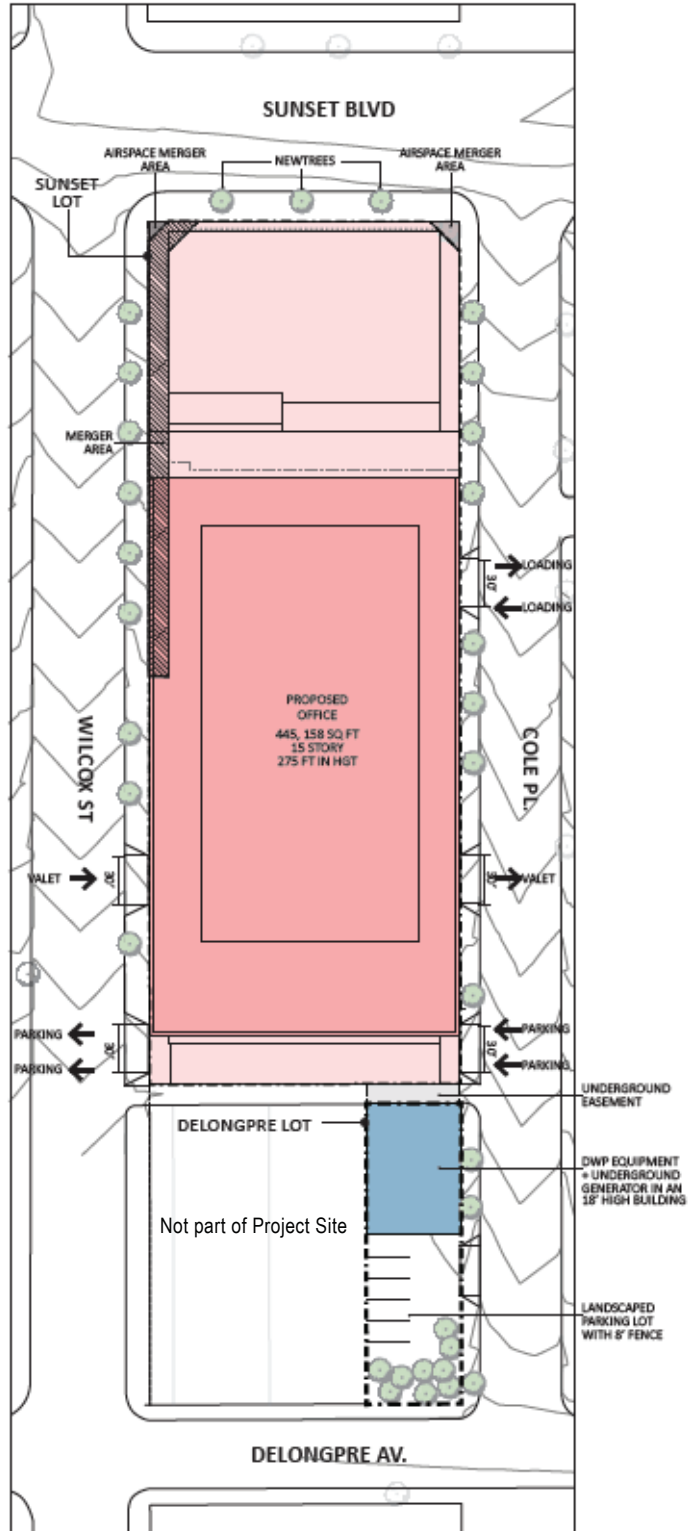
Los Angeles, CA 90012

[Planning4LA.org](http://Planning4LA.org)

T: (213) 847-3642



Project Location



Conceptual Site Plan

**DEPARTMENT OF  
CITY PLANNING**

COMMISSION OFFICE  
(213) 978-1300

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200 N. SPRING STREET, ROOM 525  
LOS ANGELES, CA 90012-4801  
(213) 978-1271

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December 22, 2020

Officer Alfonso Velasco  
Crime Prevention Through Environmental Design Section  
**Los Angeles Police Department**  
100 West First Street, Room 250  
Los Angeles, CA 90012

**RE: SUNSET + WILCOX PROJECT—REQUEST FOR POLICE SERVICES INFORMATION**

Dear Officer Velasco:

The City of Los Angeles (City) Department of City Planning is preparing an Environmental Impact Report (EIR) for the Sunset + Wilcox Project (Project) pursuant to the California Environmental Quality Act (CEQA). In order to adequately identify and assess the full range of the Project's potential environmental effects, early consultation with public agencies and City Departments is being conducted in accordance with Section 15083 of the State CEQA Guidelines. The EIR will include an assessment of the Project's potential adverse environmental impacts on public services, including police protection. As the Project is served by the Los Angeles Police Department (LAPD), we are requesting information from your department. The following is a brief description of the Project and a list of requested information and questions.

**PROJECT DESCRIPTION**

The Project Site is located at 1440, 1420, 1424, 1426, 1428, 1432, 1432½, 1434, 1436, 1438, 1450, 1452, and 1454 North Wilcox Avenue; 6450, 6460, and 6462 West Sunset Boulevard; 1413, 1417, 1419, 1425, 1427, 1433, 1435, 1439, 1441, 1443, 1445, and 1447 North Cole Place; and, 6503 De Longpre Avenue (Project Site) in the Hollywood Community Plan Area of the City.

The Project includes the construction of a 15-story commercial building with a total floor area of 443,418 square feet consisting of 431,032 square feet of office space and 12,386 square feet ground floor restaurant space. However, approximately 1,800 square feet of outdoor covered patio areas adjacent to the ground floor restaurant space along Sunset

Boulevard would not count towards the Project's total floor area pursuant to the LAMC. Nevertheless, to provide a conservative environmental analysis, the environmental analyses assumes the outdoor dining areas count towards the floor area, resulting in a total floor area of 445,218 square feet, including 431,032 square feet of office space and 14,186 square feet of restaurant space. The Project also includes the construction of a 3,550-square-foot building to house the City's Department of Water and Power (LADWP) equipment and an underground generator (LADWP Building). The area proposed for this use would not constitute floor area as defined by the LAMC. As part of the Project, the existing office and retail uses comprising 26,261 square feet and associated surface parking would be removed.

The Project would provide 1,291 vehicular parking spaces within three subterranean levels, at-grade parking, a small parking mezzanine, two full floor fully-enclosed, mechanically ventilated above-grade levels, and a small surface parking area that would include five vehicular parking spaces. Although not required to provide any open space per the LAMC, the Project would provide a variety of private open space areas totaling 61,449 square feet, of which 32,077 square feet would comply with LAMC Open Space requirements.

Vehicular access to the Project Site would be provided via driveways along Wilcox Avenue and Cole Place. A one-way valet driveway into the Project Site would be located along Cole Place with a corresponding exit driveway located on Wilcox Avenue. This drop-off and pick-up area would include a waiting area for both patrons and tenants utilizing the valet service. A second one-way driveway into the Project Site would be located further south on Wilcox Avenue for both patrons and tenants to drive in and park, with a corresponding exit driveway along Cole Place. Valets would be able to move cars from the valet drop-off to the parking garage and back from the parking garage to the valet pick-up while remaining on-site. The Project also includes a loading zone for loading and trash operations with a tertiary driveway located further north along Cole Place. A fourth driveway is proposed along Cole Place for the surface parking lot outside of the LADWP Building. An on-street passenger loading zone for rideshare services is proposed along the east curb of Wilcox Avenue adjacent to the Project Site. The Project Site would be accessible for pedestrians through pedestrian points of entry along Sunset Boulevard and Wilcox Avenue, with bicycle access provided from Cole Place and Wilcox Avenue.

For your reference, a project location map, aerial photograph of the Project Site and vicinity, and a conceptual site plan are attached.

## **REQUESTED INFORMATION**

Please provide the following information regarding LAPD services and facilities:

- Name and location of police station(s) providing police protection services to the Project Site and the distance of these police station(s) to the Project Site;

- Staffing and equipment for each police station serving the Project Site (e.g., patrol cars, total full-time and part-time staff, number of officers on 24-hr duty, etc.);
- Population served and service boundaries of station(s) serving the Project Site;
- Reporting Districts within the service area of the police station(s) that serve the Project Site;
- The officer-to-resident ratio for the Project's Reporting District(s) and the officer-to-resident ratio citywide. Please indicate whether these numbers meet the service ratio standards of the LAPD.
- Special service teams (i.e., SWAT and K-9) available within the division and police stations that serve the Project Site;
- A general overview of the department's emergency response system (i.e., dispatch system, standard procedures and protocols, etc.);
- Incident data, by type of incident, on a monthly basis for each Reporting District within the service area of the police station(s) that serve the Project Site. Please provide monthly data for the last two years and annual data for the last five years;
- The average LAPD response time for emergencies citywide and for those LAPD station(s) that would serve the Project Site. Please also provide the average response times for crimes in the Project's Reporting District(s) and indicate whether these response times meet the standards of the LAPD.
- Planned improvements to the police protection facilities in the service area of the Project Site (e.g., expansion, new facilities, additional staffing, etc.), if applicable; and
- Any special police protection requirements due to the specific attributes of the Project Site.

To aid us in assessing potential adverse physical effects to police protection services, please answer the following questions regarding LAPD services and facilities:

- Would the Project, either individually or combined with other past, present or anticipated future projects, result in the need for new or altered police protection facilities? If so, please describe the nature, approximate location and approximate size of the new or altered facility.

Thank you for your assistance as this information will help us ensure that our analysis of the Project's impacts on LAPD services is accurate and complete. Please feel free to contact me at (213) 847-3642 or via email at [bradley.furuya@lacity.org](mailto:bradley.furuya@lacity.org) to discuss our information

needs and/or any questions regarding the Draft EIR. In order to ensure a timely completion of our analysis, a response from your agency is appreciated (via mail or email) by January 22, 2021.

Sincerely,

*Bradley Furuya*

Bradley Furuya  
City Planning Associate  
(213) 847-3642  
bradley.furuya@lacity.org

Enclosures:  
Project Location Map  
Conceptual Site Plan